



Preventive Maintenance: Inspection, Conditions, Specifications

This training session focuses on streamlining preventive maintenance (PM) in the area of routine inspections. Inspection points are characteristics of your assets that are maintained or monitored, e.g., gauge readings, temperature recording, fuel/fluid levels. For assets that are regularly inspected, inspection points describe what needs to be checked. In addition, asset condition assessments can be performed.

MicroMain Maintenance uses inspections and/or inspection points in two (2) ways:

1. **Task Inspections:** Tasks are setup to create regularly scheduled inspections. This includes the dates inspections are due or frequencies required to maintain your assets.
2. **Work Order Inspections:** The work order form has an Inspection tab used to create unscheduled inspections.

By scheduling actions and inspections days, months, or years in advance—and setting their repeat cycles—you can avoid costly failures and downtime. You can also conduct ongoing evaluations to determine the life cycle of your assets.

The following topics are discussed in this tutorial:

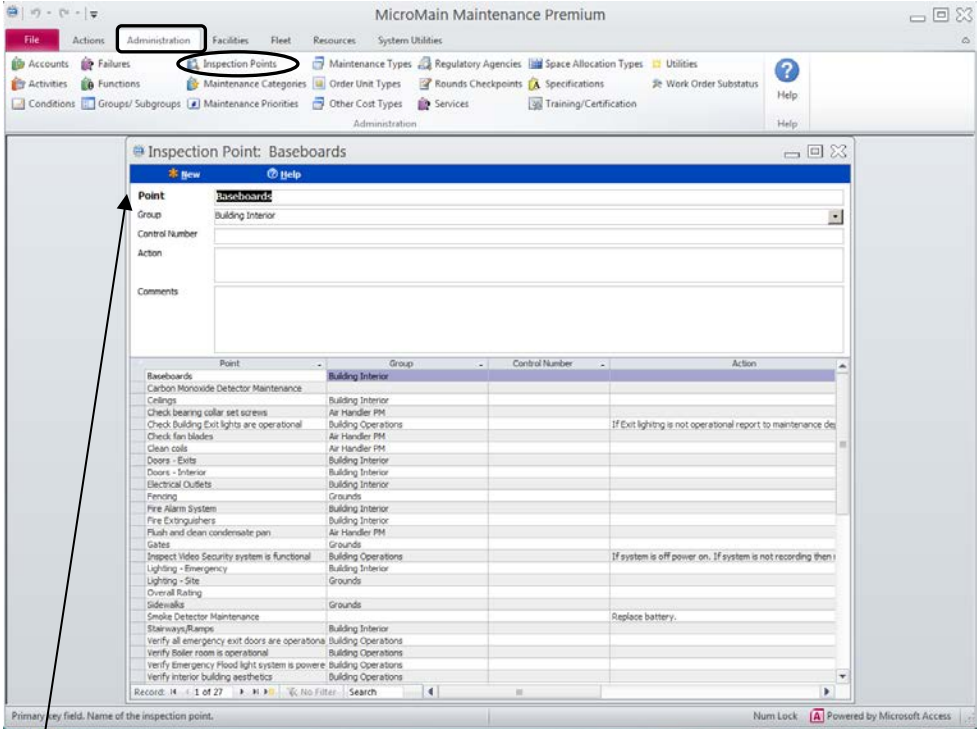
- Creating Inspection Points, Conditions and Specifications
- Adding Inspections, Conditions and Specifications to Tasks
- Adding Inspection Groups to Tasks

Preventive Maintenance: Inspection, Conditions, Specifications

Creating Inspection Points, Conditions or Specifications

Inspection Points: the maintainable characteristics of your assets. Inspection points describe the details that need to be checked, e.g., gauge readings, temperature, fuel/fluid levels, fire extinguisher gauges.

1. On the MM Administration tab: click on **Inspection Points**.

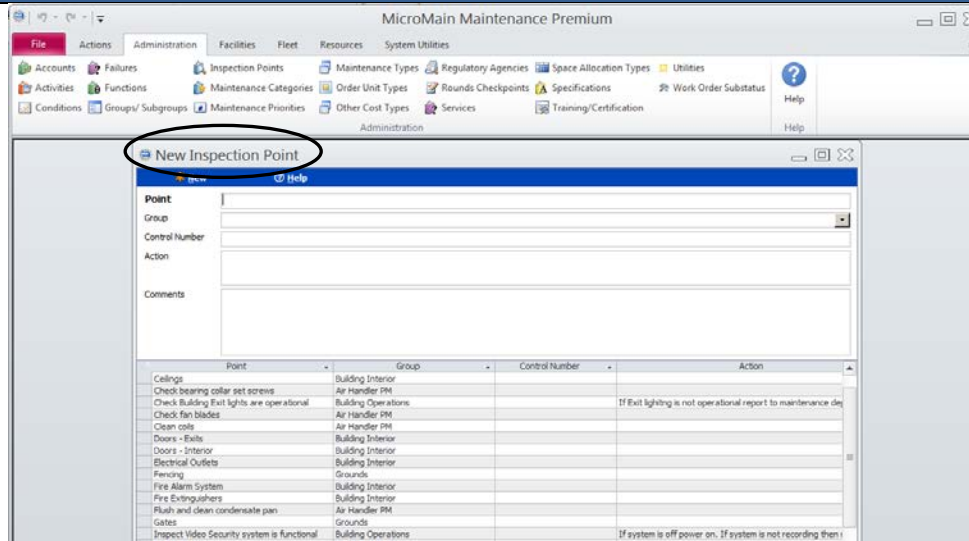


The Inspection Point list will be displayed. The points can be displayed alphabetically by clicking the down arrow of the inspection point column heading and selecting 'Sort A to Z.' Or display by Group alphabetically.

2. Click: **New** to add an Inspection Point.



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3. Enter the Point (name or description of the inspection point).

Enter other information as it pertains to the inspection point:

Group: used to sort or group inspection points. A group is a set of multiple points done during the same inspections, e.g., checking window locks, checking door locks, checking security cameras.

Comments: additional comments or instructions describing what to look for when evaluating the inspection point.

Action: corrective action for a 'failed' inspection point. Describe how to correct an inspection that fails. The action appears as an instruction on the corrective work order created from the 'failed' inspection.

Control Number: unique series of letters, numbers and symbols that identify a specific inspection point; used to make its barcode.

4. Exit by clicking the 'X' in the upper right corner of the form. (The new inspection point will be saved.)

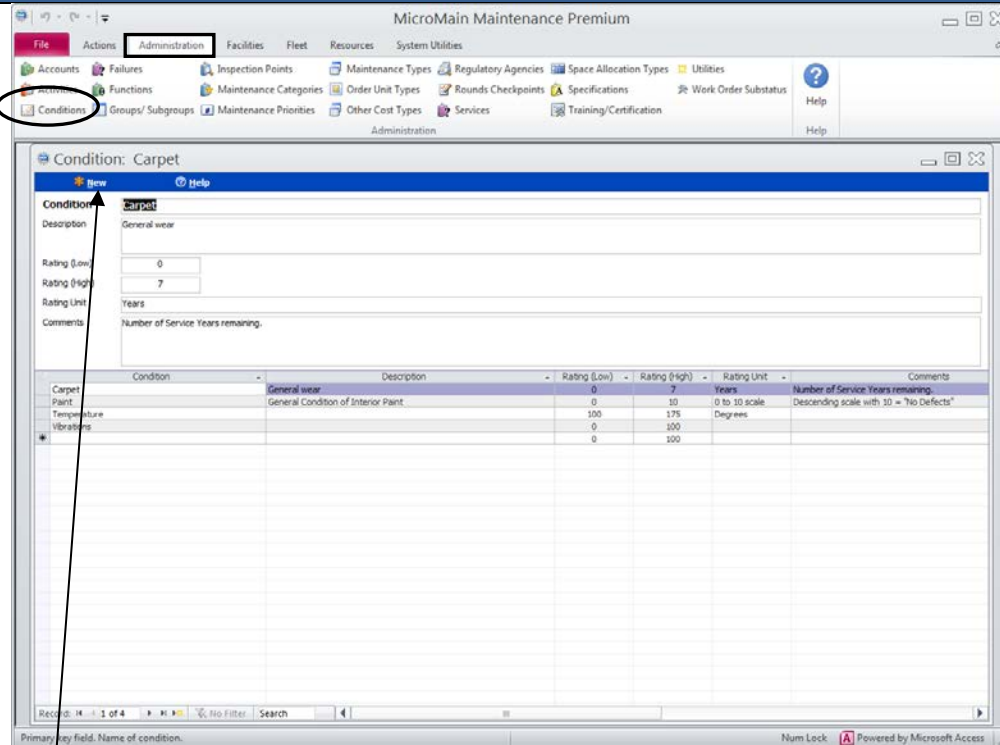
a. Click **New to add another Inspection Point.**

5. From the Inspection List: Click **New to add a inspection point, select (double-click) a point from the list to review or exit by clicking the 'X.'**

Conditions: used to rate the current condition. These ratings are used in evaluating process and hazard criticality for an asset, e.g., temperature, vibration, lubrication, paint quality, wear/tear.

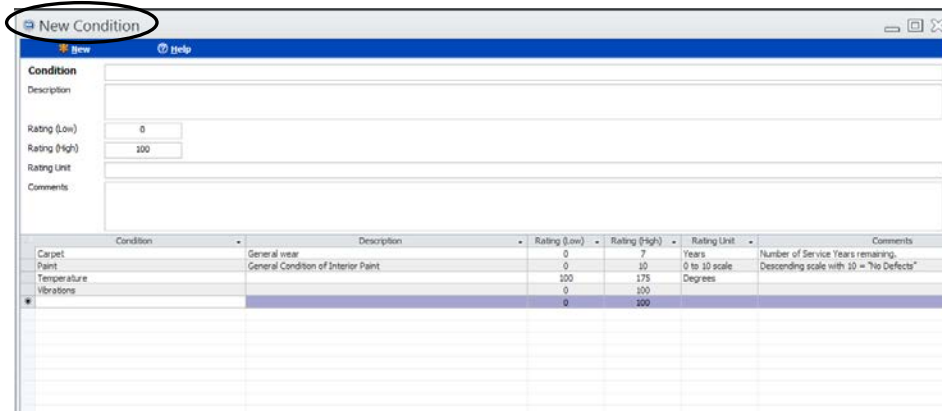
1. On the MM Administration tab: click on **Conditions.**

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The Conditions list will be displayed. The conditions can be displayed alphabetically by clicking the down arrow of the condition column heading and selecting 'Sort A to Z.'

2. Click: **New** to add a condition.



3. Enter the Condition (name of the condition or description).

Enter other information as it pertains to the condition:

Description: describe the condition

Range (Lo): low-end value (numeric range), like temperature.



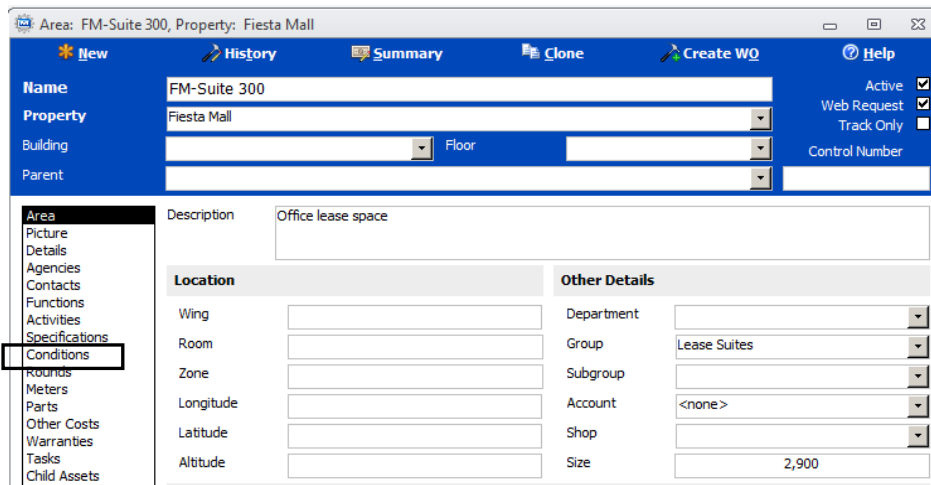
Preventive Maintenance: Inspection, Conditions, Specifications

Range (Hi): high-end value (numeric range), like temperature.

Rating Unit: unit of measure for the condition rating, e.g., degrees.

Comments: additional information about the condition

4. Exit by clicking the 'X' in the upper right corner of the form. (The new condition will be saved.)
 - a. Click **New** to add another Condition.
5. From the Condition List: Click **New** to add a condition, select (double-click) a condition from the list to review or exit by clicking the 'X.'
6. Assign the Condition to an Asset: MM Facilities tab => Areas Assets => double-click on the area asset to condition.



The screenshot shows a web-based form for an asset named 'FM-Suite 300' at 'Fiesta Mall'. The form includes fields for Name, Property, Building, and Parent. A sidebar on the left lists various menu items, with 'Conditions' highlighted. The main form area contains a Description field with the text 'Office lease space', and two columns of fields: 'Location' (Wing, Room, Zone, Longitude, Latitude, Altitude) and 'Other Details' (Department, Group, Subgroup, Account, Shop, Size). The 'Size' field is populated with the value '2,900'. There are also checkboxes for 'Active', 'Web Request', and 'Track Only', and a 'Control Number' field.

7. Click on **Conditions** in the sidebar to open the Asset's Conditions form.



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The screenshot shows the MicroMain software interface for asset 'FM-Suite 300'. The interface includes a top navigation bar with 'New', 'History', 'Summary', 'Clone', 'Create WO', and 'Help' buttons. Below this is a form for asset details, including 'Name' (FM-Suite 300), 'Property' (Fiesta Mall), 'Building', 'Floor', and 'Parent'. A left-hand menu lists various asset categories, with 'Conditions' highlighted. The main area contains a table with columns for 'Condition', 'Rating', 'Unit', 'Date', and 'Percent'. At the bottom of the table, there are 'Add' and 'Remove' buttons, with the 'Add' button circled in red.

8. Click: **Add** to select the Condition(s) for the Asset.

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Select Conditions for FM-Suite 300

Condition	Description
Carpet	General wear
Paint	General Condition of Interior Paint
Temperature	
Vibrations	

New OK Cancel Help

The Asset Conditions list will be displayed.

9. Select (highlight) the condition(s) and click **OK**.



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10. The asset condition will be added to the asset record.

Condition	Rating	Unit	Date	Percent
Paint	0	0 to 10 scale		0.00%

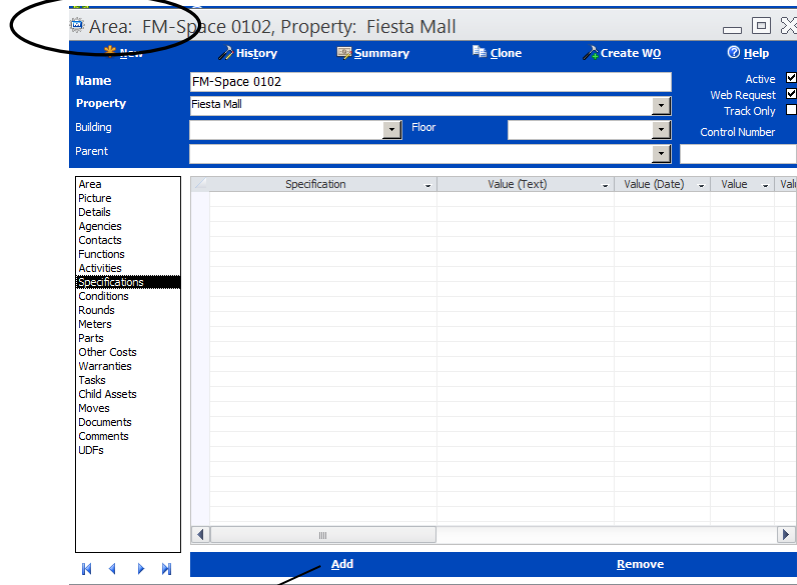
Note: Conditions can also be added/created from the Conditions form on the asset record. Then follow-up and assign to an Asset through the Conditions form on the Asset record.



Preventive Maintenance: Inspection, Conditions, Specifications

Specifications: used to describe details of an asset, e.g., nameplate information, storage restrictions, ideal gauge readings.

1. Identity/assign a specification for an asset. From MM Actions tab => Areas Assets => double-click on the asset to set the specification. Click on **Specifications** in the sidebar of the asset record.



The Specifications list for the asset will be displayed. The specifications can be displayed alphabetically by clicking the down arrow of the specification column heading and selecting 'Sort A to Z.'

2. Click: **Add** to add a specification for this asset.

5100 Bee Caves Road, Austin, Texas 78746-5221

Preventive Maintenance: Inspection, Conditions, Specifications

Select Specifications for FM-Space 0102

Specification	Comments
Amps, Full-Load	FLA. Line current drawn by motor while operating under full load at supply voltage.
Amps, Service Factor	SFA. Current drawn by the motor when operated at service factor load. Unless otherwise specified, the service factor is 1.15.
Bearings	Ball; B&S (Ball and Sleeve); Unit. REPLACEMENT MUST MATCH EXISTING.
Belt Size	
Contractor	
Date Opened	The date property was opened.
Duty or Time rating	Length of time motor may be run without stopping for a cooling period. Usually 100% duty motors are designed for use in areas that are fairly dry, clean, and free of dust.
Enclosure	Indicates motor meets, or must only be replaced with, motor that complies with the enclosure type.
EPAct-Compliant	
Filter Size	
Filter Type	
Frame	NEMA (National Electrical Manufacturers Association) frame size. REPLACEMENT MUST MATCH EXISTING.
Frequency/Hz	Hertz. Rated input frequency in cycles per second of motor's power supply. REPLACEMENT MUST MATCH EXISTING.
Gallons Per Minute	Quantity of liquid pumped per minute, in gallons (GPM).
Horsepower	The output power rating of the motor. For motors with more than one speed, the rating is for the slowest speed.
Insulation Class	The temperature limit of the insulation system or the maximum allowable total operating temperature.
Interior Paint Type	
Lamp Type	Incandescent; Halogen; HID (High-Intensity Discharge); High-Pressure Sodium; LED.
LR KVA Code	Locked Rotor KVA code letter as required by the National Electrical Code. Used to identify the motor's locked rotor current.
Maximum Ambient Degrees Celsius	The ambient temperature of the space around the motor.
Motor Type	Shaded Pole; PSC (Permanent Split Capacitor); Split Phase; Capacitor-Start; 3-Phase.
Oil Capacity	Oil capacity in quarts.
Oil Filter	
Paint Color	Color of paint.
Paint Type	Type of paint.
Phase	Specifies whether single- or three-phase power must be supplied to the motor.
Ratio	Number of times the input shaft must turn to make the output shaft turn once.
Roof Type	Type of roof for building.
RPM	Revolutions per minute. Approximate speed at which motor operates. Multispeed.

New
OK
Cancel
Help

The Specification list will be displayed.

3. Select (highlight) the specification(s) to assign to the asset.

Note: Use <CTRL> and <Shift> keys to select multiple specifications.

- a. Click: **OK**



Preventive Maintenance: Inspection, Conditions, Specifications

Area: FM-Space 0102, Property: Fiesta Mall

New History Summary Clone Create WO Help

Name Active
Property Web Request
Track Only
Building Floor Control Number
Parent

- Area
- Picture
- Details
- Agencies
- Contacts
- Functions
- Activities
- Specifications
- Conditions
- Rounds
- Meters
- Parts
- Other Costs
- Warranties
- Tasks
- Child Assets
- Moves
- Documents
- Comments
- UDFs

Specification	Value (Text)	Value (Date)	Value	Val
Paint Color				
Paint Type				

⏪ ⏩ ⏴ ⏵ Add Remove

The asset specification(s) will be displayed. If there is a value for the specification, e.g., paint color, number of gallons, or capacity, input the information in the Value column.

Area: FM-Space 0102, Property: Fiesta Mall

New History Summary Clone Create WO Help

Name Active
Property Web Request
Track Only
Building Floor Control Number
Parent

- Area
- Picture
- Details
- Agencies
- Contacts
- Functions
- Activities
- Specifications
- Conditions
- Rounds
- Meters
- Parts
- Other Costs
- Warranties
- Tasks
- Child Assets
- ..

Specification	Value (Text)	Value (Date)	Value	Val
Paint Color	Eggshell	6/15/2012		
Paint Type	Benjamin	6/15/2012		

Preventive Maintenance: Inspection, Conditions, Specifications

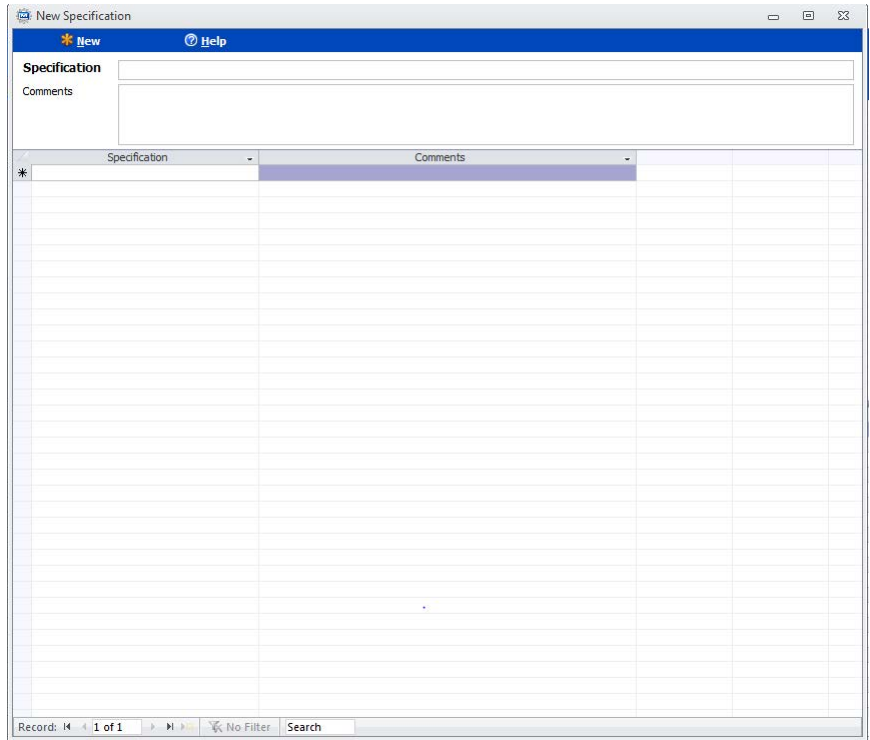
4. If the Specification is not displayed in the list, click **New**.

Select Specifications for FM-Space 0102

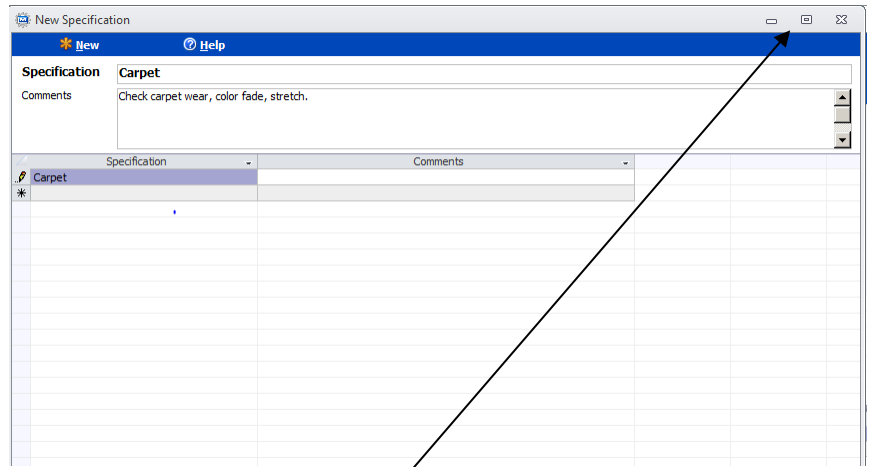
Specification	Comments
Amps, Full-Load	FLA. Line current drawn by motor while operating under full load at supply voltage.
Amps, Service Factor	SFA. Current drawn by the motor when operated at service factor load. Unless
Bearings	Slv (Sleeve); Ball; B&S (Ball and Sleeve); Unit. REPLACEMENT MUST MATCH EXA
Belt Size	
Contractor	
Date Opened	The date property was opened.
Duty or Time rating	Length of time motor may be run without stopping for a cooling period. Usually
Enclosure	Open drip-proof motors are designed for use in areas that are fairly dry, clean.
EPAAct-Compliant	Indicates motor meets, or must only be replaced with, motor that complies with
Filter Size	
Filter Type	
Frame	NEMA (National Electrical Manufacturers Association) frame size. REPLACEMENT
Frequency/Hz	Hertz. Rated input frequency in cycles per second of motor's power supply. RE
Gallons Per Minute	Quantity of liquid pumped per minute, in gallons (GPM).
Horsepower	The output power rating of the motor. For motors with more than one speed, r
Insulation Class	The temperature limit of the insulation system or the maximum allowable total o
Interior Paint Type	
Lamp Type	Incandescent; Halogen; HID (High-Intensity Discharge); High-Pressure Sodium;
LR KVA Code	Locked Rotor KVA code letter as required by the National Electrical Code. Used
Maximum Ambient Degrees Celsius	The ambient temperature of the space around the motor.
Motor Type	Shaded Pole; PSC (Permanent Split Capacitor); Split Phase; Capacitor-Start; 3-F
Oil Capacity	Oil capacity in quarts.
Oil Filter	
Paint Color	Color of paint.
Paint Type	Type of paint.
Phase	Specifies whether single- or three-phase power must be supplied to the motor.
Ratio	Number of times the input shaft must turn to make the output shaft turn once.
Roof Type	Type of roof for building.
RPM	Revolutions per minute. Approximate speed at which motor operates. Multispee

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a. Enter the Specification (Name of the specification).



Enter other information as it pertains to the specification:
 Comments: describe the specification



- b. Close the new specification: click the 'X'
- c. Select (highlight) the new specification from the list.

Preventive Maintenance: Inspection, Conditions, Specifications

Preventive Maintenance: Inspection, Conditions, Specifications

Select Specifications for FM-Space 0102

Specification	Comments
Amps, Full-Load	FLA. Line current drawn by motor while operating under full load at supply voltage.
Amps, Service Factor	SFA. Current drawn by the motor when operated at service factor load. Unless otherwise specified, SFA is 1.15.
Bearings	Slv (Sleeve); Ball; B&S (Ball and Sleeve); Unit. REPLACEMENT MUST MATCH EXACTLY.
Belt Size	
Carpet	Check carpet wear, color fade, stretch.
Contractor	
Date Opened	The date property was opened.
Duty or Time rating	Length of time motor may be run without stopping for a cooling period. Usually 30 minutes.
Enclosure	Open drip-proof motors are designed for use in areas that are fairly dry, clean and free of dust.
EPAct-Compliant	Indicates motor meets, or must only be replaced with, motor that complies with the Energy Policy Act of 1992.
Filter Size	
Filter Type	
Frame	NEMA (National Electrical Manufacturers Association) frame size. REPLACEMENT MUST MATCH EXACTLY.
Frequency/Hz	Hertz. Rated input frequency in cycles per second of motor's power supply. RECOMMENDED FOR USE WITH 60 HZ SUPPLY.
Gallons Per Minute	Quantity of liquid pumped per minute, in gallons (GPM).
Horsepower	The output power rating of the motor. For motors with more than one speed, the rating is for the slowest speed.
Insulation Class	The temperature limit of the insulation system or the maximum allowable total operating temperature.
Interior Paint Type	
Lamp Type	Incandescent; Halogen; HID (High-Intensity Discharge); High-Pressure Sodium; LED.
LR KVA Code	Locked Rotor KVA code letter as required by the National Electrical Code. Used to determine the maximum ambient temperature of the space around the motor.
Maximum Ambient Degrees Celsius	The ambient temperature of the space around the motor.
Motor Type	Shaded Pole; PSC (Permanent Split Capacitor); Split Phase; Capacitor-Start; 3-Phase.
Oil Capacity	Oil capacity in quarts.
Oil Filter	
Paint Color	Color of paint.
Paint Type	Type of paint.
Phase	Specifies whether single- or three-phase power must be supplied to the motor.
Ratio	Number of times the input shaft must turn to make the output shaft turn once.
Roof Type	Type of roof for building.

New **OK** Cancel Help

d. Click: **OK**

Area: FM-Space 0102, Property: Fiesta Mall

New History Summary Clone Create WO Help

Name: FM-Space 0102 Active
 Property: Fiesta Mall Web Request
 Building: Floor: Track Only
 Parent: Control Number

Area	Specification	Value (Text)	Value (Date)	Value	Val
Area	Carpet	Monsanto	6/15/2012		
Picture	Paint Color	Eggshell	6/15/2012		
Details	Paint Type	Benjamin	6/15/2012		
Agencies					
Contacts					
Functions					
Activities					
Specifications					
Conditions					
Rounds					
Meters					
Parts					
Other Costs					
Warranties					
Tasks					
Child Assets					
Moves					
Documents					
Comments					
UDFs					

Add Remove





Preventive Maintenance: Inspection, Conditions, Specifications

The Specification will be on the asset record. If there is a value for the Specification, input the information in the Value column.

5. Close the asset record by clicking the 'X' in the upper right corner of the form.

Note: Specifications can also be added/created from the Specifications form on the asset record. Then follow-up and assign to an Asset through the Specifications form on the Asset record.

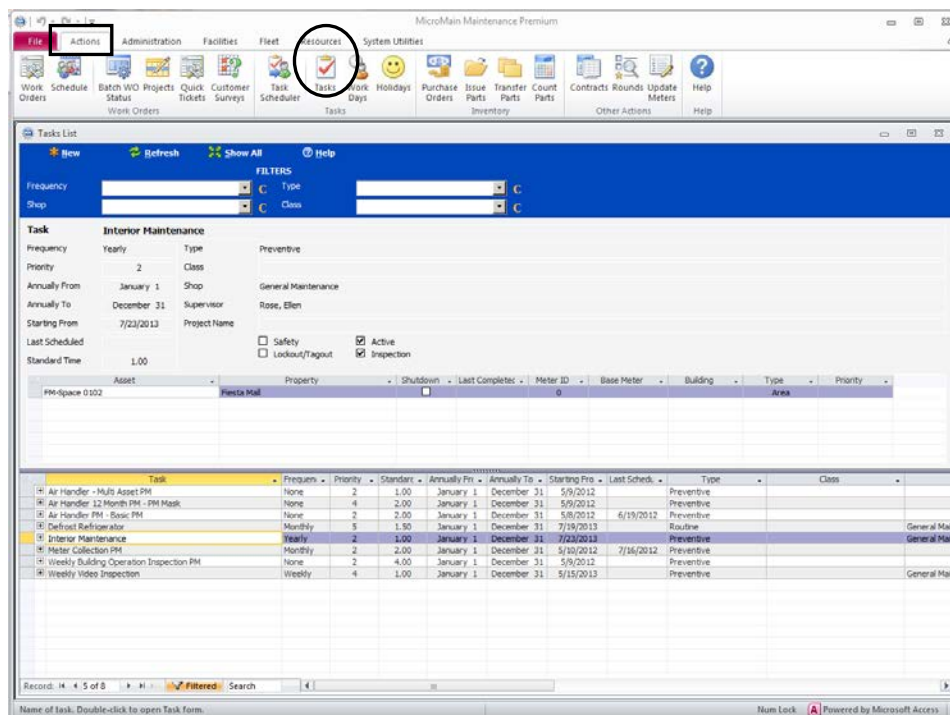
Preventive Maintenance: Inspection, Conditions, Specifications

Adding Inspections, Conditions or Specifications to Tasks

By adding/creating specific inspection points, specifications or conditions to a task, a separate inspection sheet is created that will print with the work order. Add inspection points/conditions/specifications to a task using the following features:

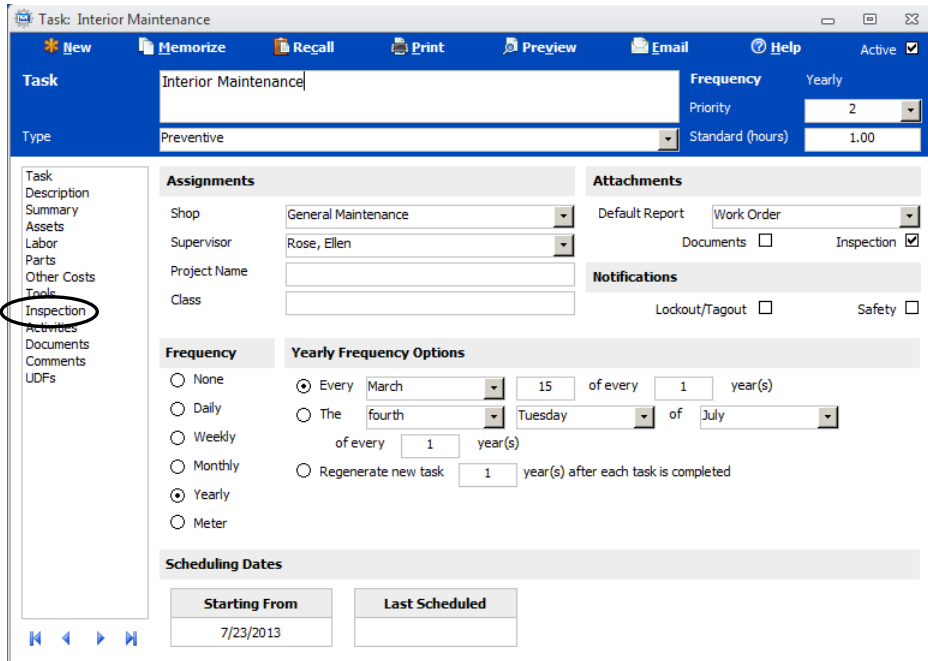
- Add individual Inspection Points – Create unique task-generated work order inspections by adding individual inspection points regardless of their group assignments.
- Add an asset's Specifications as Inspection Points – Create task-generated work order inspections for a specific asset by adding its assigned specifications as individual inspection points.
- Add an asset's Conditions as Inspection Points – Create task-generated work order inspections for a specific asset by adding its assigned conditions as individual inspection points.

1. On the MM Actions tab: click on **Tasks**.



Preventive Maintenance: Inspection, Conditions, Specifications

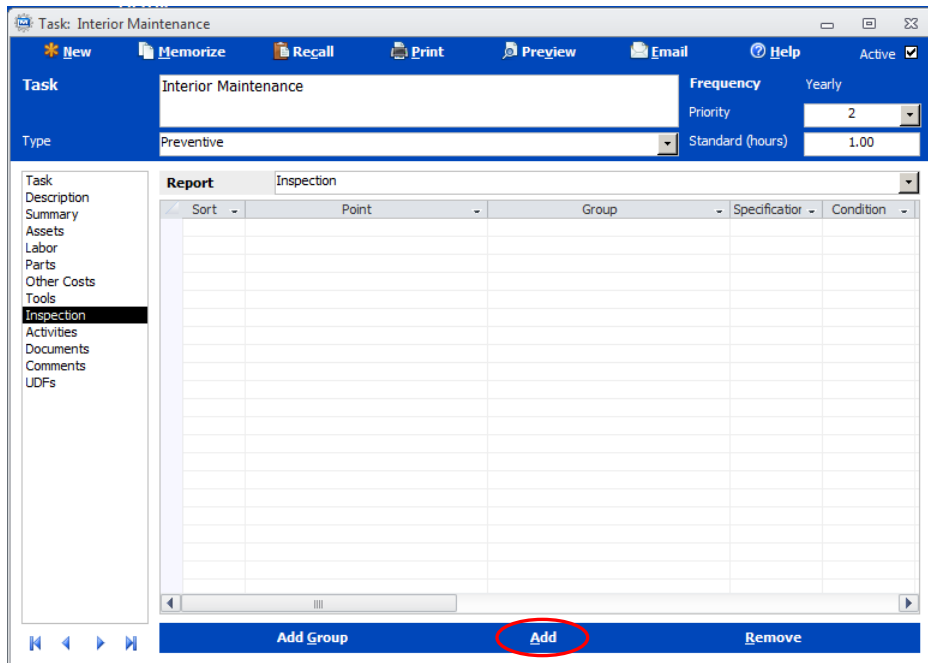
2. Open the task. Double-click on the name of the task.



The screenshot shows the 'Task: Interior Maintenance' form. The left sidebar contains a list of options: Task, Description, Summary, Assets, Labor, Parts, Other Costs, Tools, **Inspection** (circled in red), Activities, Documents, Comments, and UDFs. The main form area includes fields for Task Name, Type, Frequency, Priority, and Standard (hours). It also has sections for Assignments, Attachments, Frequency Options, and Scheduling Dates.

The task form is displayed.

3. Open the Inspection form of the task: click on Inspection in the sidebar.

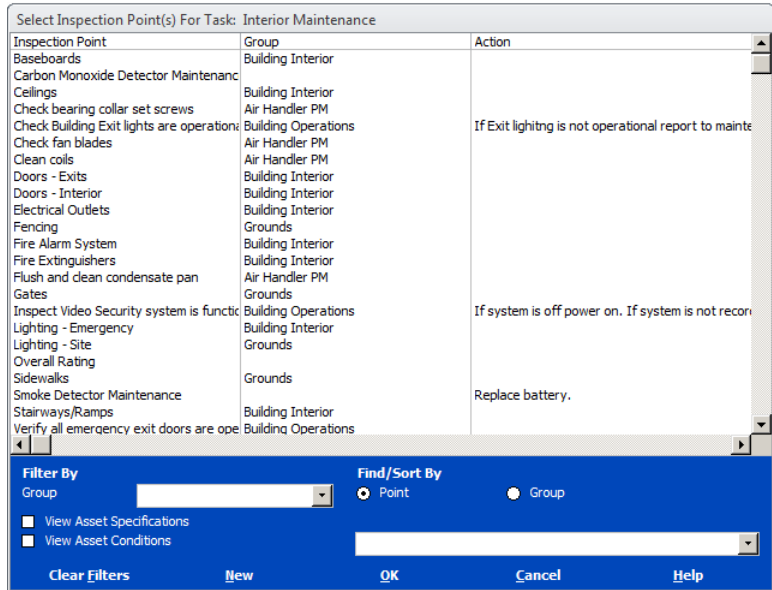


The screenshot shows the 'Task: Interior Maintenance' form with the 'Inspection' form open. The left sidebar now has 'Inspection' highlighted. The main form area shows a table with columns for Point, Group, Specifier, and Condition. At the bottom of the form, there are buttons for 'Add Group', 'Add' (circled in red), and 'Remove'.



Preventive Maintenance: Inspection, Conditions, Specifications

4. Add an Inspection Point(s) to the task. Click: **Add**.



The Inspection list will be displayed.

5. From the *Select Inspection Points* screen, select (highlight) the inspection points to add to the Task. (Use your keyboard <CTRL> and a mouse click to make multiple selections.)
 - a. Click (✓) View Asset Specifications to add specifications to the task. (An asset(s) with a specification(s) has to be assigned to the Task to display a view.)
 - b. Click (✓) View Asset Conditions to add conditions to the task. (An asset(s) with a condition(s) has to be assigned to the Task to display a view.)



Preventive Maintenance: Inspection, Conditions, Specifications

Specification	Comments	Asset
Carpet	Check carpet wear, color fade, stretch.	FM-Space 0102
Paint Color	Color of paint.	FM-Space 0102
Paint Type	Type of paint.	FM-Space 0102

Filter By

Group

View Asset Specifications

View Asset Conditions

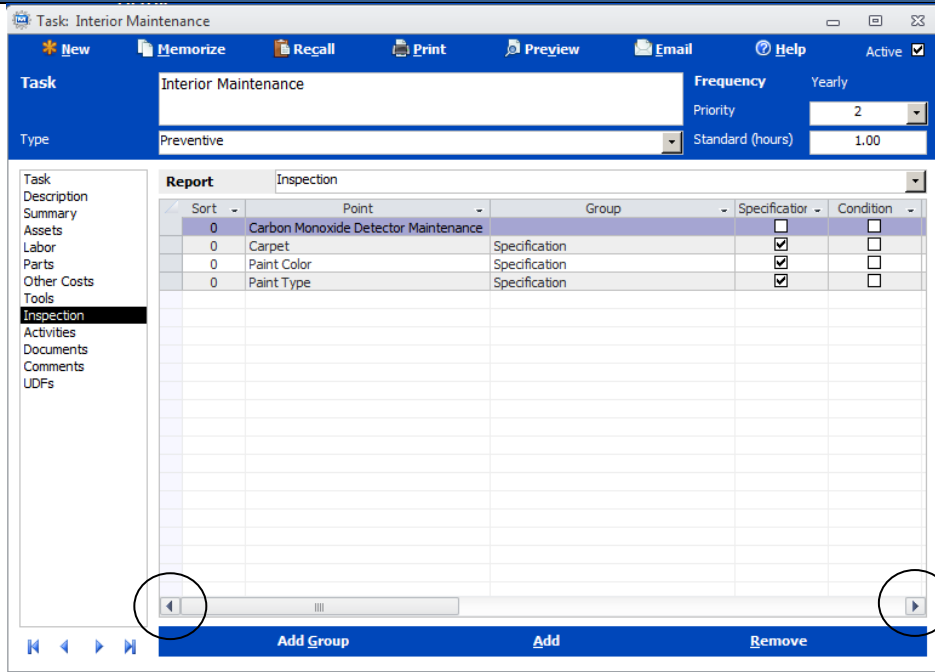
Find/Sort By

Point Group

Clear Filters
OK
Cancel
Help

6. Select (highlight) the Specification(s)/Condition(s) for the task.
7. Click **OK** to complete the add of inspections, conditions or specifications.
 - a. If the inspection (specification or condition) is not displayed for selection, a new one can be added. Click the **New** button.
8. View the inspection data on this task. The information carried on the Inspection tab contains a sort order for the points listed and selected inspection report formats, the name of the inspection point (asset specification or condition), inspection group, corrective action for a 'failed' point, comments about the inspection point, the name of the asset, and the primary asset location/property.

Preventive Maintenance: Inspection, Conditions, Specifications



Task: Interior Maintenance

New Memorize Recall Print Preview Email Help Active

Task: Interior Maintenance Frequency: Yearly Priority: 2

Type: Preventive Standard (hours): 1.00

Report: Inspection

Sort	Point	Group	Specification	Condition
0	Carbon Monoxide Detector Maintenance		<input type="checkbox"/>	<input type="checkbox"/>
0	Carpet	Specification	<input checked="" type="checkbox"/>	<input type="checkbox"/>
0	Paint Color	Specification	<input checked="" type="checkbox"/>	<input type="checkbox"/>
0	Paint Type	Specification	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Buttons: Add Group, Add, Remove

Scroll to the right/left to view the Inspection details.

The Specifications and Conditions are indicated with the check (✓) in the appropriate column.

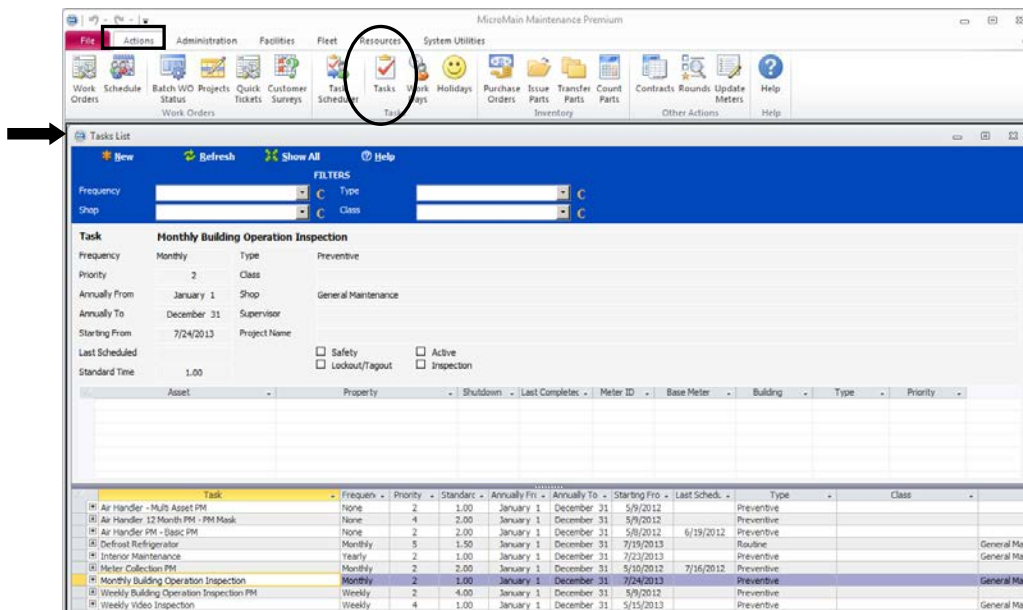


Preventive Maintenance: Inspection, Conditions, Specifications

Adding Inspection Groups to Tasks

By adding/creating Inspection Groups you can create task-generated work orders with a group of related inspection points. This is done for larger tasks. Inspection groups allow all the required activities to be grouped for easier task assignment. The inspection points can also be sequenced if the work is to be done in a particular sequence.

1. On the MM Actions tab: click on **Tasks**.



The Task List will be displayed.

2. Open the task: double-click the name of the task.





Preventive Maintenance: Inspection, Conditions, Specifications

Task: Monthly Building Operation Inspection

New Memorize Recall Print Preview Email Help Active

Task: Monthly Building Operation Inspection Frequency: Monthly
Priority: 2
Type: Preventive Standard (hours): 1.00

Task Description Summary Assets Labor Parts Other Costs Tools Inspection Activities Documents Comments UDFs

Assignments

Shop: General Maintenance
Supervisor:
Project Name:
Class:

Attachments

Default Report: Work Order
Documents: Inspection:

Notifications

Lockout/Tagout: Safety:

Frequency

Monthly Frequency Options

Day 20 of every 1 month(s)
 Daily
 Weekly
 Monthly
 Yearly
 Meter

The fourth Wednesday of every 1 month(s)
 Regenerate new task 1 month(s) after each task is completed

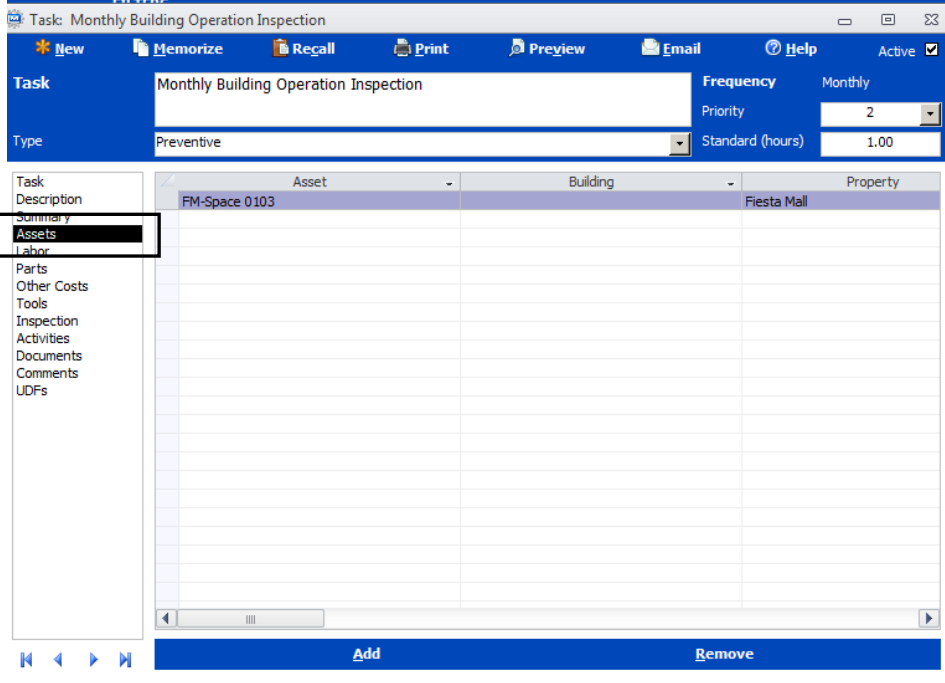
Scheduling Dates

Starting From	Last Scheduled	Annually From	To
7/24/2013		January 1	December 31

The Task Frequency will be displayed along with the basic information for the task. (The example is monthly on the 20th.)

3. Assign the asset(s) to the Task: Click on **Assets** in the sidebar. Click on: **'Add'** to see the Assets List. Select (highlight) the asset(s). Click: **Ok**.

Preventive Maintenance: Inspection, Conditions, Specifications



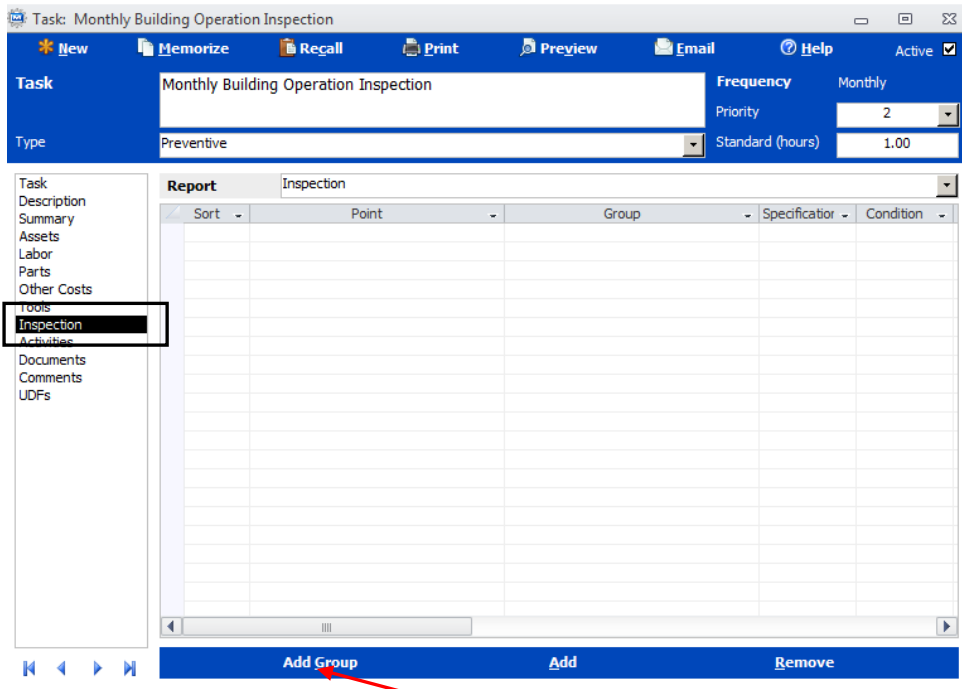
Task: Monthly Building Operation Inspection

Frequency: Monthly
Priority: 2
Standard (hours): 1.00

Task	Asset	Building	Property
FM-Space 0103			Fiesta Mall

Assets

4. Open the Inspection form of the task: Click on **Inspection** in the sidebar.



Task: Monthly Building Operation Inspection

Frequency: Monthly
Priority: 2
Standard (hours): 1.00

Report	Point	Group	Specifcator	Condition
--------	-------	-------	-------------	-----------

Inspection

Add Group

5. Add an Inspection Point Group: Click **Add Group**.



Preventive Maintenance: Inspection, Conditions, Specifications

Select Group(s) of Inspection Points For Task: Monthly Building Operation Inspection

- Air Handler PM
- Building Interior
- Building Operations
- Grounds

▼

OK
Cancel
Help

The Inspection Point Groups List will be displayed. These are the group designations input on the inspection points when they were created/added/updated.

Inspection Point	Interior Maintenance	Action
Baseboards	Building Interior	
Carbon Monoxide Detector Maintenance	Building Interior	
Ceilings	Building Interior	
Check bearing collar set screws	Air Handler PM	
Check Building Exit lights are operational	Building Operations	If Exit lighting is not operational
Check fan blades	Air Handler PM	
Clean coils	Air Handler PM	
Doors - Exits	Building Interior	
Doors - Interior	Building Interior	
Electrical Outlets	Building Interior	
Fencing	Grounds	
Fire Alarm System	Building Interior	
Fire Extinguishers	Building Interior	
Flush and clean condensate pan	Air Handler PM	
Gates	Grounds	
Inspect Video Security system is functional	Building Operations	If system is off power on. If sys
Lighting - Emergency	Building Interior	
Lighting - Site	Grounds	
Overall Rating		
Sidewalks	Grounds	
Smoke Detector Maintenance		Replace battery.
Stairways/Ramps	Building Interior	
Verify all emergency exit doors are open	Building Operations	

Filter By: Group Find/Sort By: Point Group

6. Select (highlight) the group(s) to be assigned to the task for the asset(s) associated with the task.
7. Click: **Ok**.





Preventive Maintenance: Inspection, Conditions, Specifications

Task: Monthly Building Operation Inspection

New Memorize Recall Print Preview Email Help Active

Task: Monthly Building Operation Inspection Frequency: Monthly
Priority: 2
Type: Preventive Standard (hours): 1.00

Report: Inspection

Sort	Point	Group	Specifier	Condition
0	Check Building Exit lights are operational	Building Operations	<input type="checkbox"/>	<input type="checkbox"/>
0	Inspect Video Security system is functioni	Building Operations	<input type="checkbox"/>	<input type="checkbox"/>
0	Verify all emergency exit doors are opera	Building Operations	<input type="checkbox"/>	<input type="checkbox"/>
0	Verify Boiler room is operational	Building Operations	<input type="checkbox"/>	<input type="checkbox"/>
0	Verify Emergency Flood light system is po	Building Operations	<input type="checkbox"/>	<input type="checkbox"/>
0	Verify interior building aesthetics	Building Operations	<input type="checkbox"/>	<input type="checkbox"/>

Add Group Add Remove

All inspection points in the group are displayed on the task record.



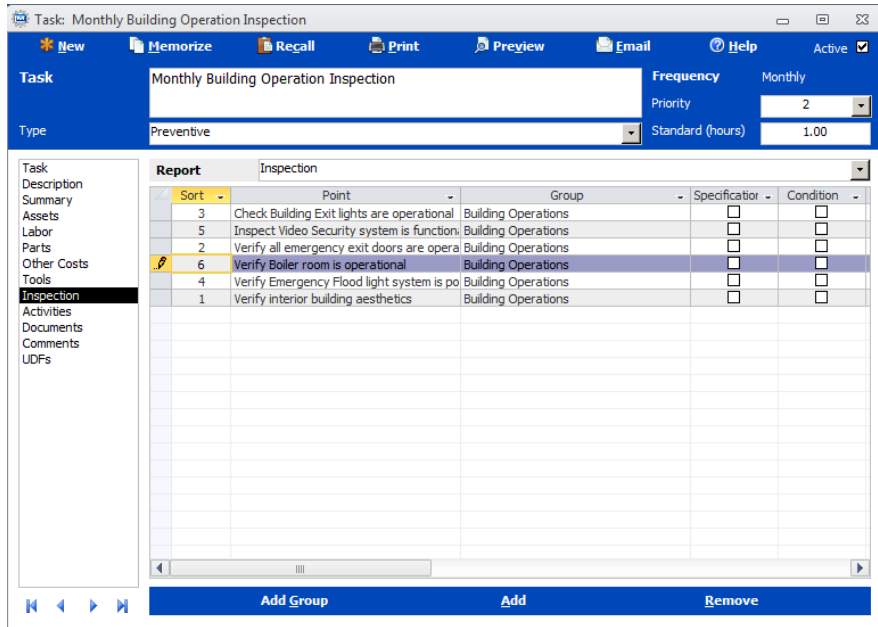
5100 Bee Caves Road, Austin, Texas 78746-5221
888-888-1600 Tech Support 888-888-1300
Direct: 512-328-3235 Fax: 512-328-5942 www.micromain.com



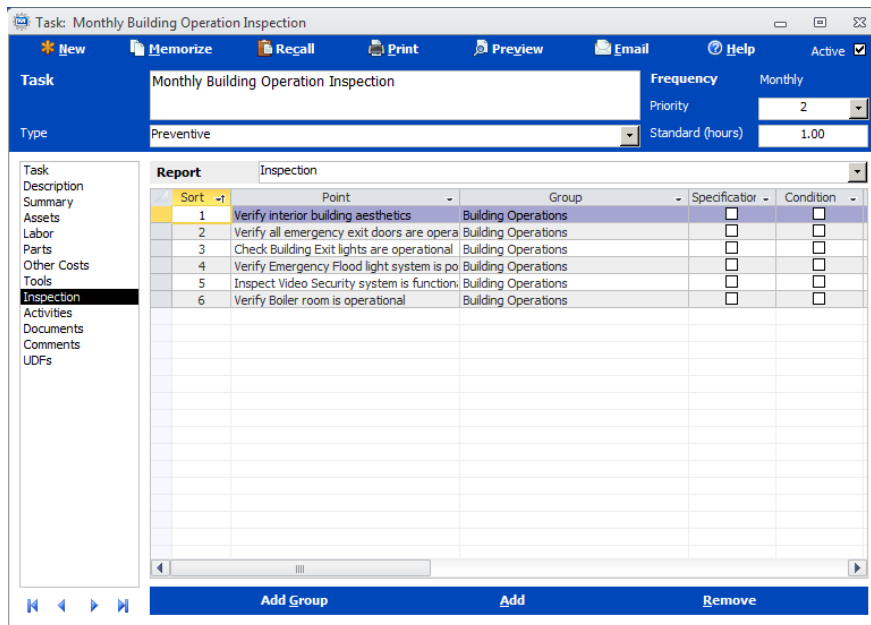


Preventive Maintenance: Inspection, Conditions, Specifications

- a. If sequencing is required or desired, input the number sort: In some cases the inspections may require a particular sequence to complete correctly.



- b. To sequence: click the down arrow next to the 'sort' column header and select 'Sort smallest to largest.'



The inspection points will be displayed in sequential order.

